

# Chapter 7

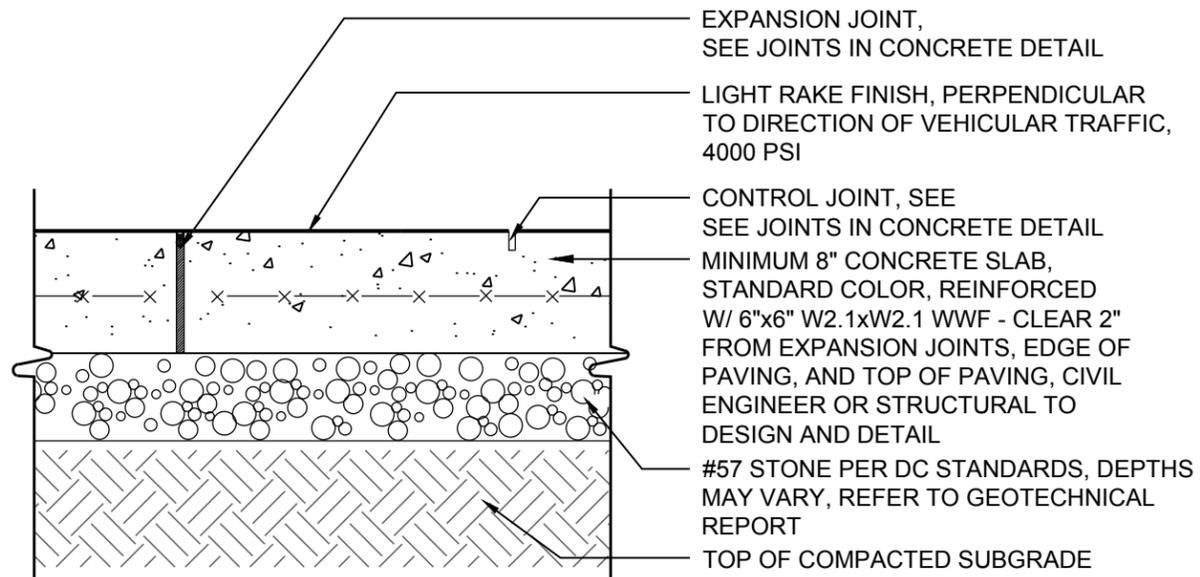
## Technical Appendix

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This section provides details and technical specifications for the non-standard elements proposed by these guidelines.



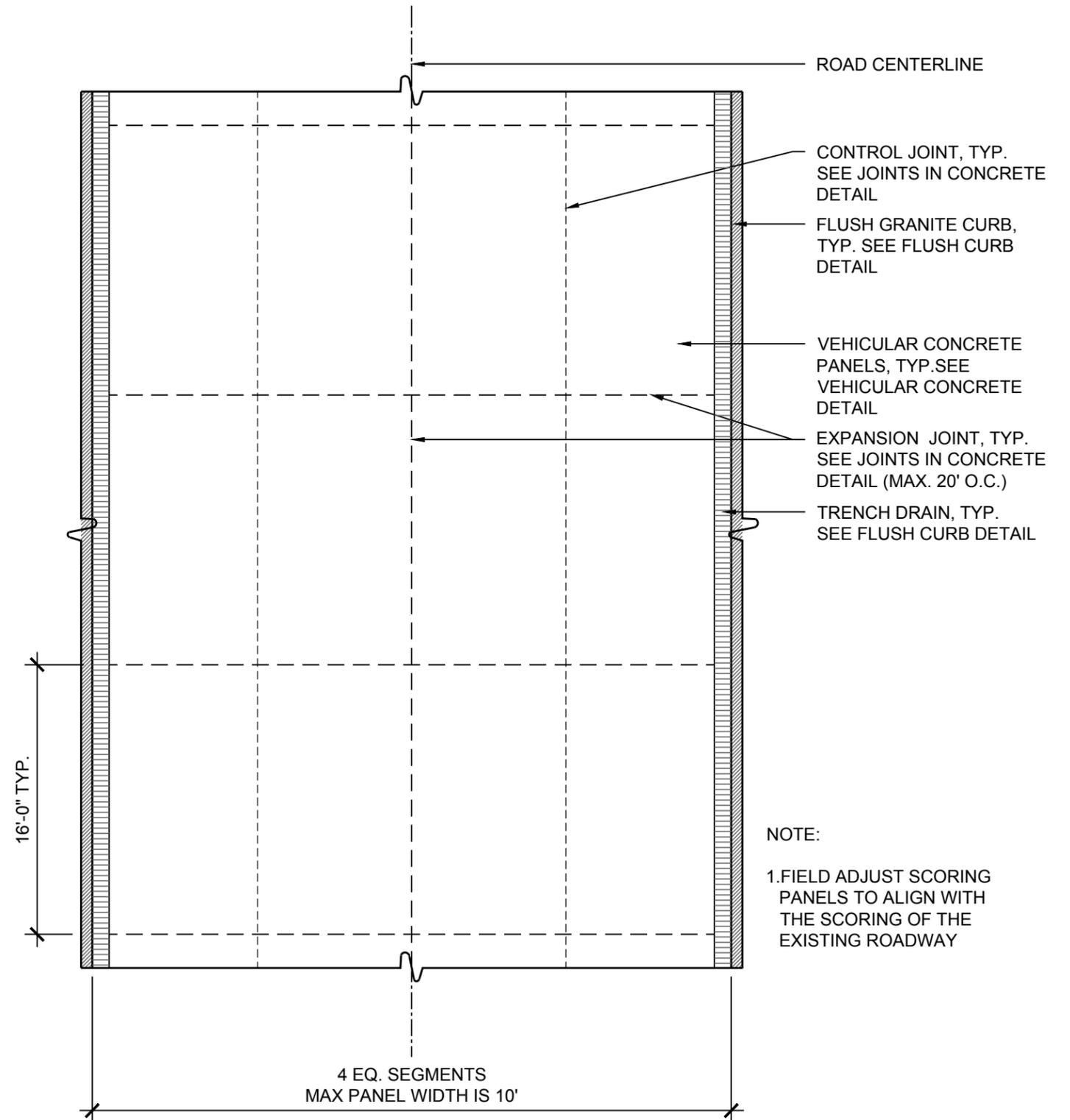
VEHICULAR CONCRETE: 1" = 1'-0"



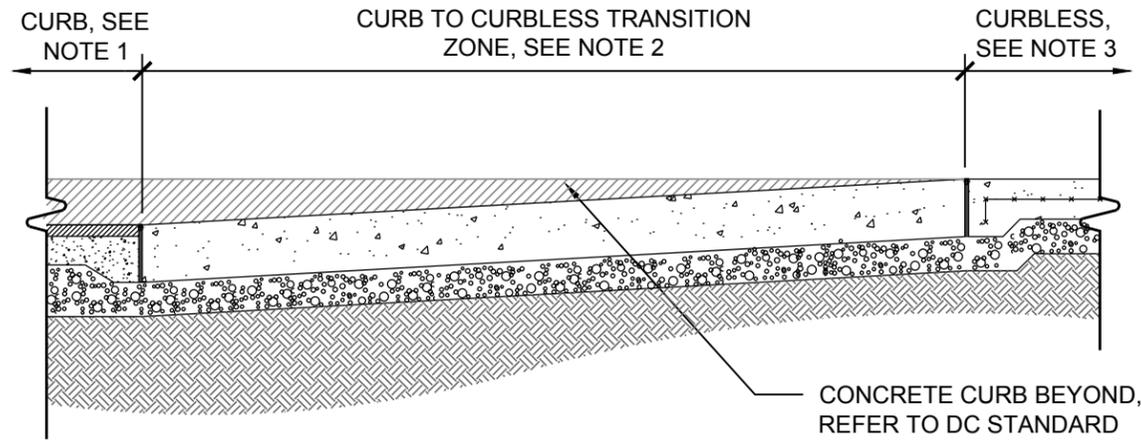
**NOTES:**

1. REFER TO PLAN FOR SCORING DIMENSIONS

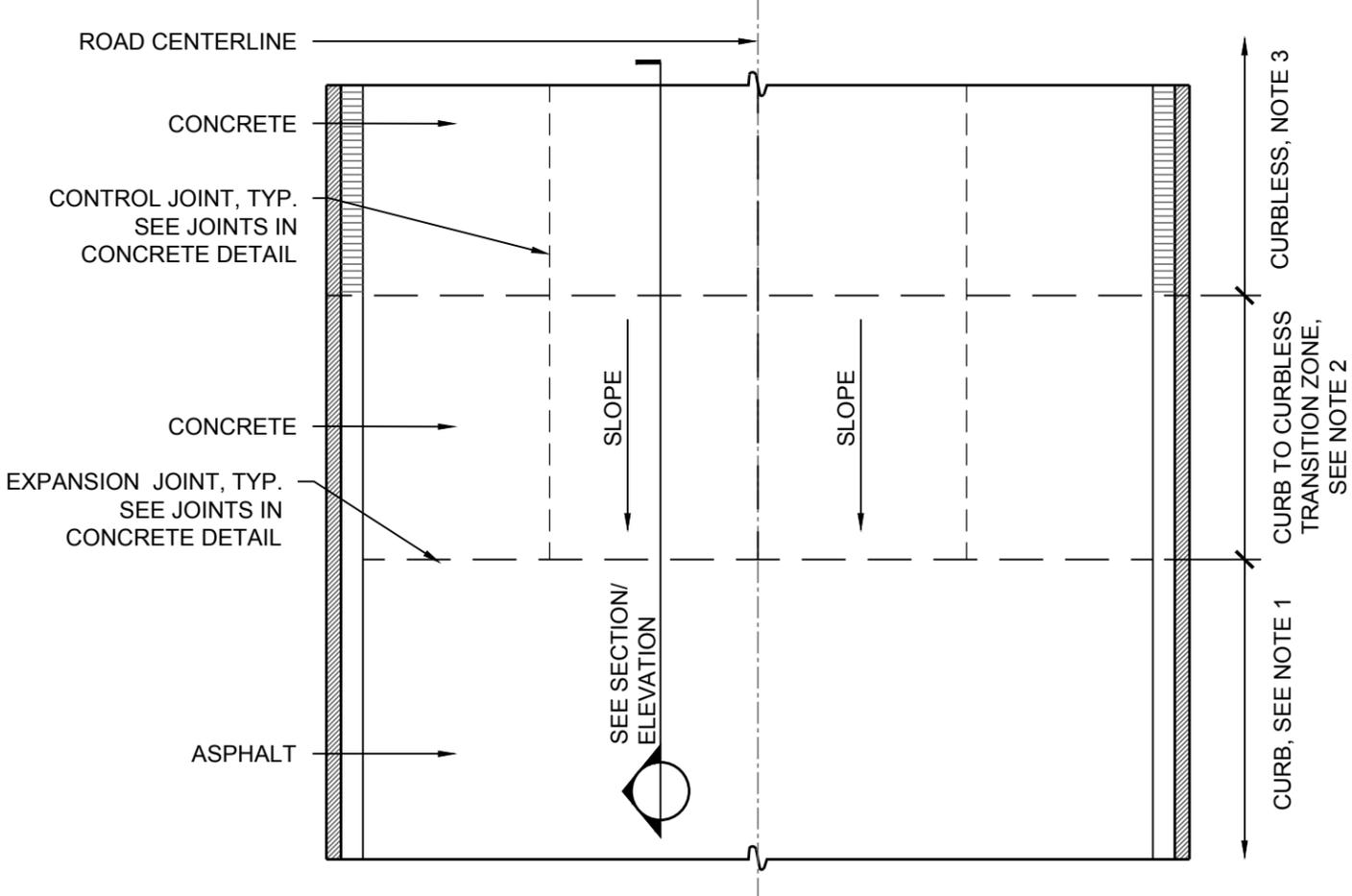
VEHICULAR CONCRETE PLAN ENLARGEMENT: 1/8" = 1'-0"



CURB TRANSITION (SECTION / ELEVATION): 3/8" = 1'-0"

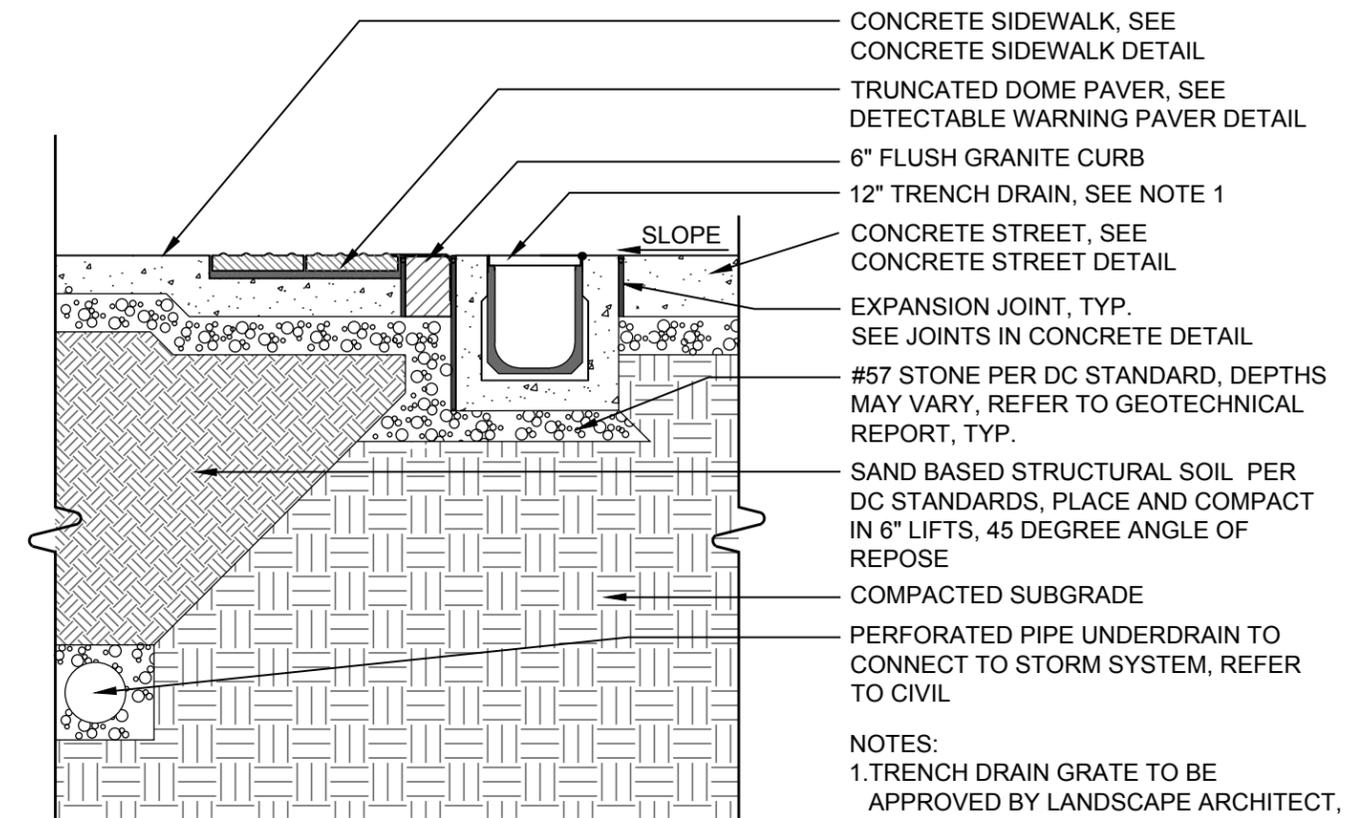


CURB TO CURBLESS TRANSITION (PLAN): 1/8" = 1'-0"



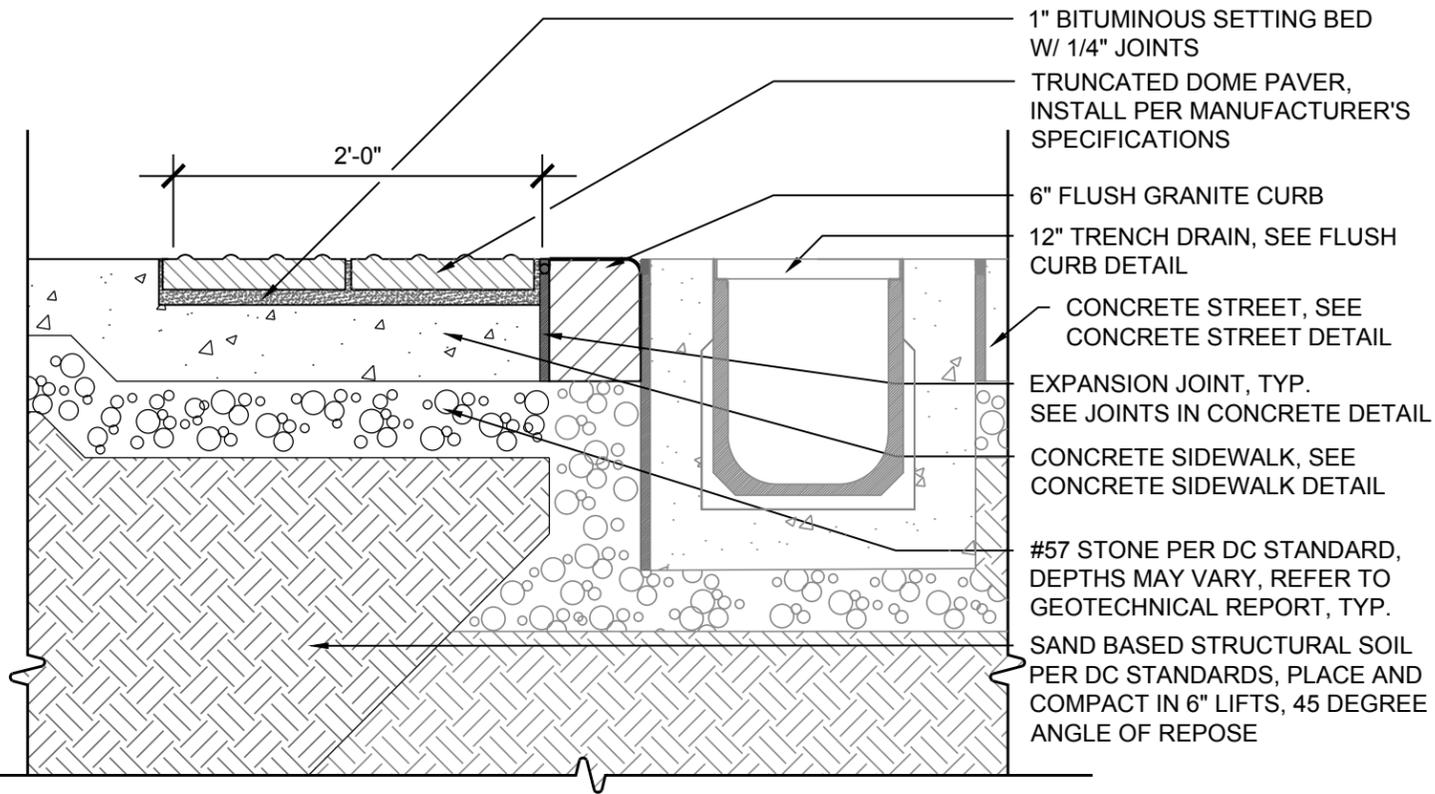
- NOTES:
1. REFER TO DC STANDARD FOR PCC CURB AND GUTTER WITH FLEXIBLE PAVEMENT
  2. REFER TO DC STANDARD FOR SLOPE SPECIFICATIONS & PCC CURB AND GUTTER WITH CONCRETE PAVEMENT
  3. REFER TO CONCRETE STREET DETAIL WITHIN THE GUIDELINES

FLUSH CURB: 1/2" = 1'-0"

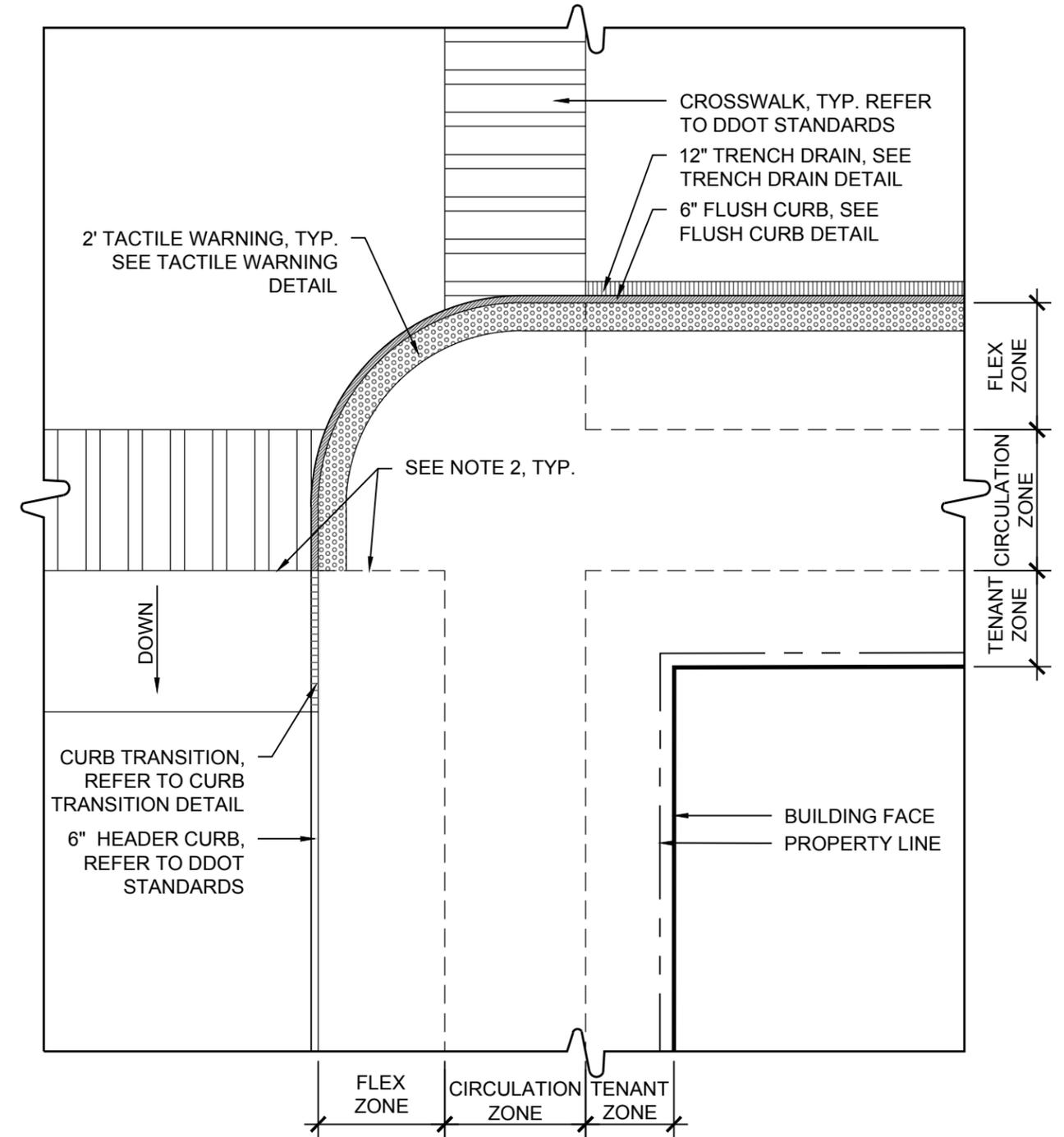


- NOTES:
1. TRENCH DRAIN GRATE TO BE APPROVED BY LANDSCAPE ARCHITECT, REFER TO CIVIL FOR TRENCH DRAIN BODY AND GRADING

DETECTABLE WARNING PAVERS: 1' = 1'-0"



CROSSWALK (PLAN): 3/32" = 1'-0"



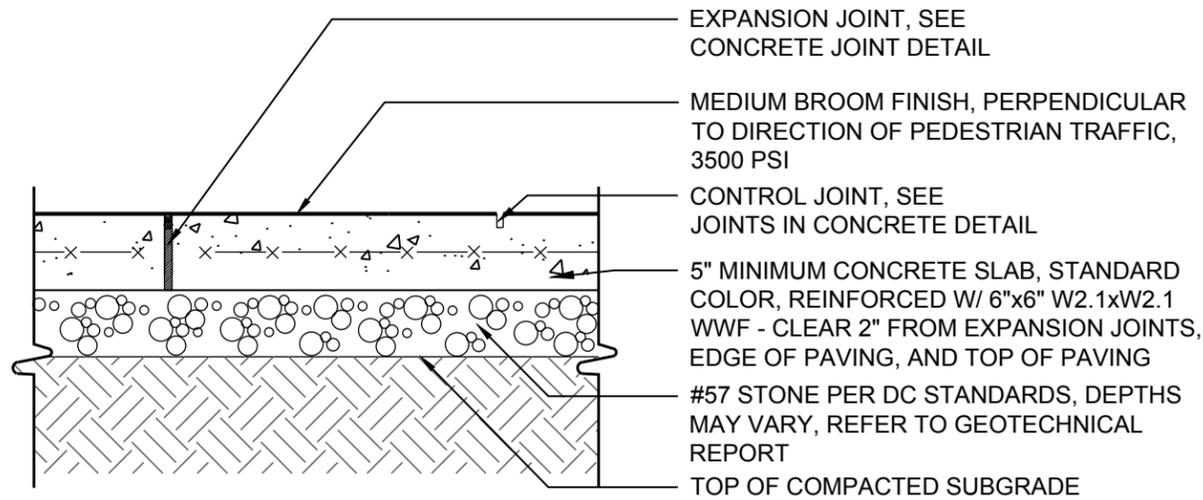
NOTES:

1. CONDITIONS VARY, REFER TO CURBLESS/ CURB STREET GRAPHIC AT BEGINNING OF CHAPTER 7.
2. CIRCULATION ZONE TO ALIGN WITH CROSSWALK.
3. CURB TRANSITION OCCURS BEYOND THE EDGE OF THE CROSSWALK WHEN A CURBLESS STREET INTERSECTS WITH A CURBED STREET.
4. TACTILE WARNING PAVERS ARE CONTINUOUS IN FLUSH CONDITIONS

## Sidewalk Hardscape Details

The materials used in the sidewalks should also take their inspiration from the materials in use throughout the neighborhood. This should primarily include broom-finished concrete, particularly in the tenant and circulation zones described in Chapter 5. Given the flexible nature of the flex zone, other materials such as wood decking and stone dust are also appropriate there.

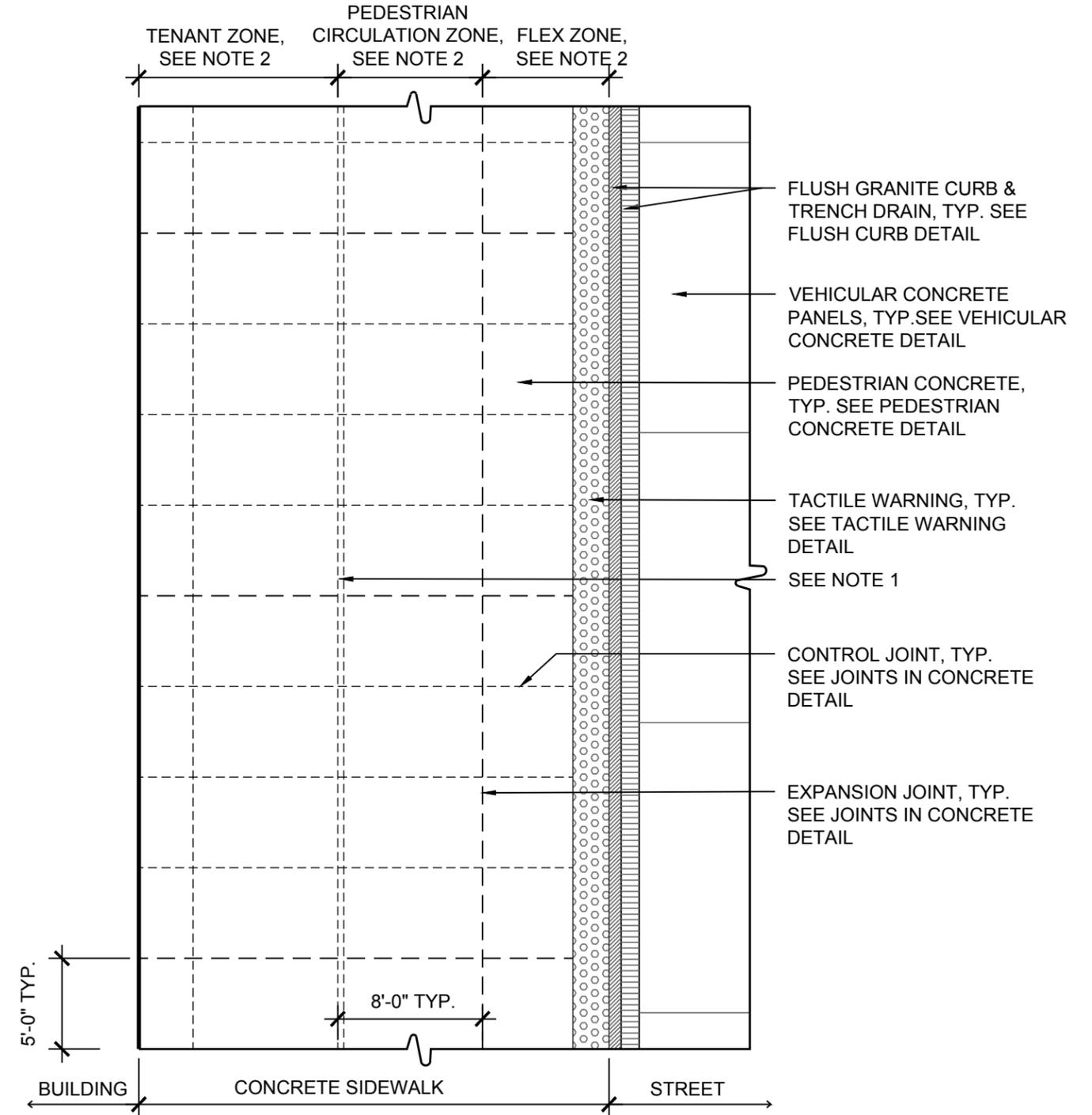
CONCRETE SIDEWALK: 1" = 1'-0"



**NOTES:**

1. REFER TO PLAN FOR SCORING DIMENSIONS

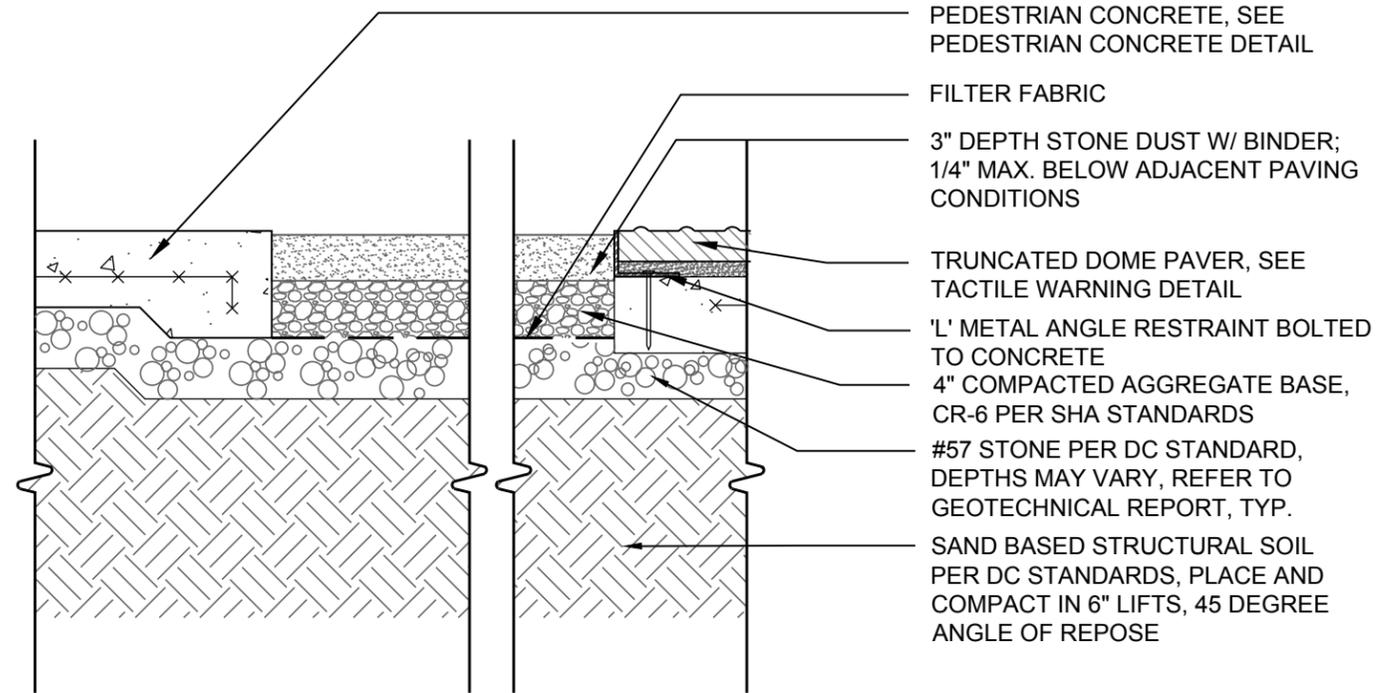
CONCRETE SIDEWALK PLAN: 1/8" = 1'-0"



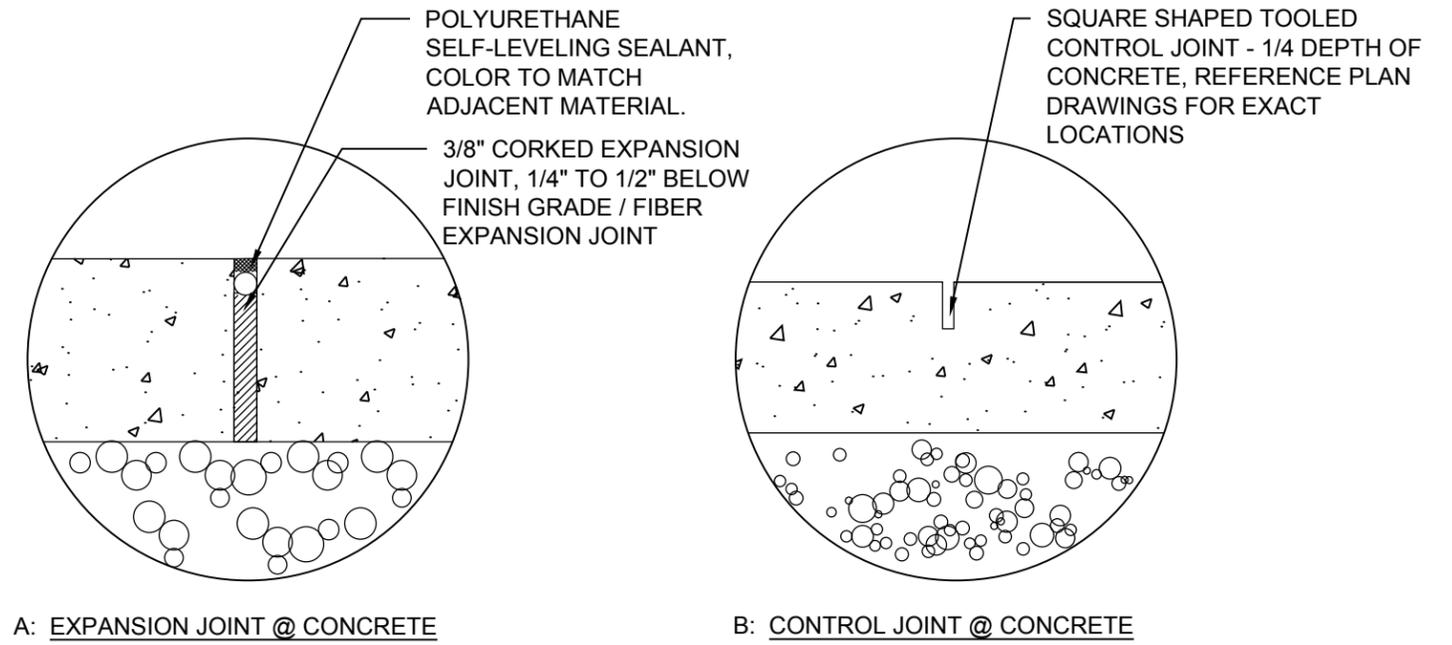
**NOTES:**

1. VISUAL IMPAIRMENT DEMARCATION LINES (2 CONTROL JOINTS @ 4" APART) LOCATED TO THE INSIDE OF THE PEDESTRIAN ZONE CLOSEST TO THE BUILDING
2. SCORING PATTERN TO ALIGN WITH PEDESTRIAN, FLEX AND TENANT ZONE EXTENTS, REFER TO STREETScape MATRIX
3. MINOR ADJUSTMENTS TO THE SCORING OF THE PANELS MAY BE APPROPRIATE TO BETTER ALIGN TO THE SCORING OF EXISTING SIDEWALK PANELS

STONE DUST- 1' = 1'-0"



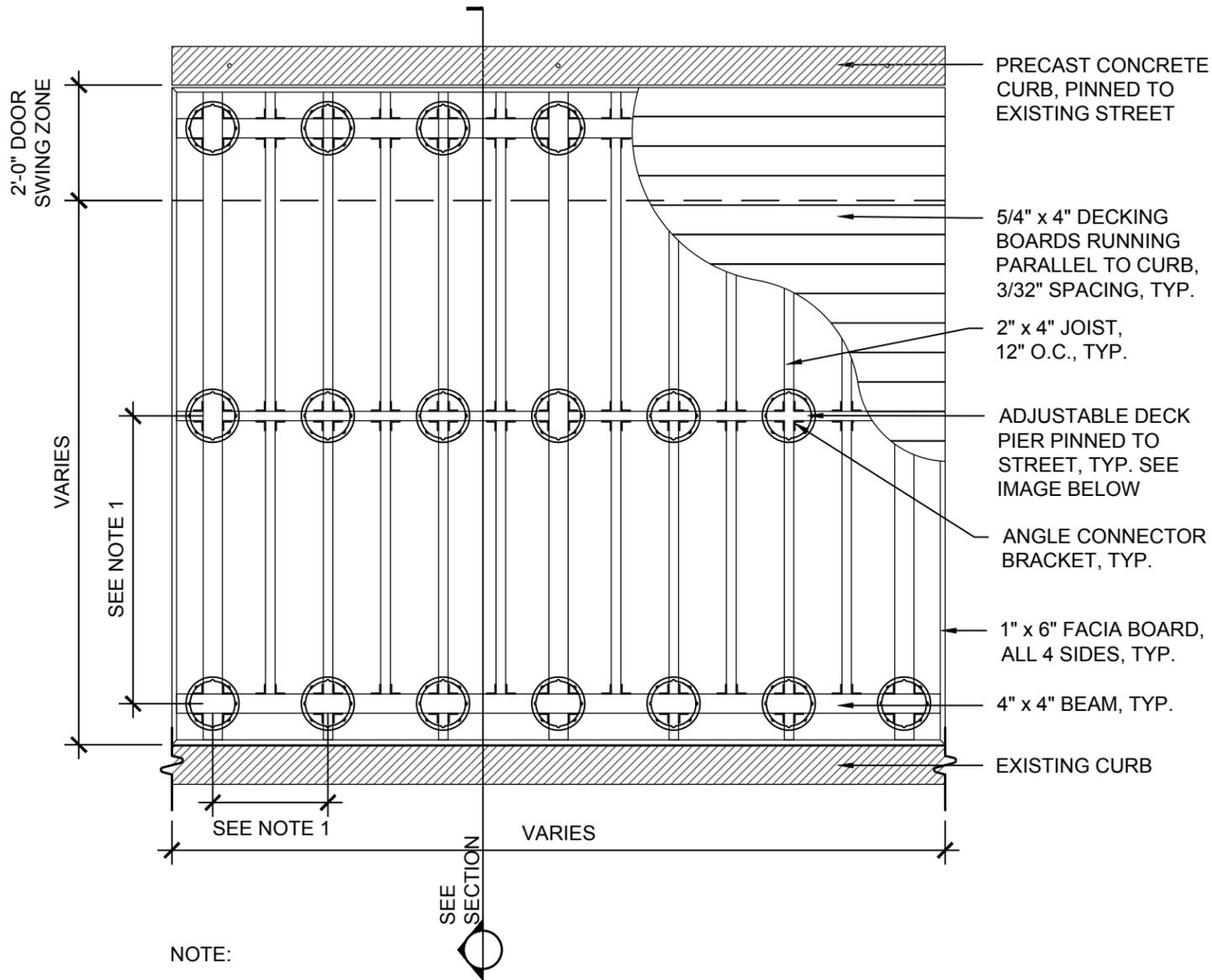
JOINTS IN CONCRETE: 3/8" = 1'-0"



DECK INTERIM (PLAN): 3/8" = 1'-0"



The decks make for excellent conversation nodes for ASL conversations as they allow for individuals communicating to get attention of the others through the vibratory message of a kick to the floor.

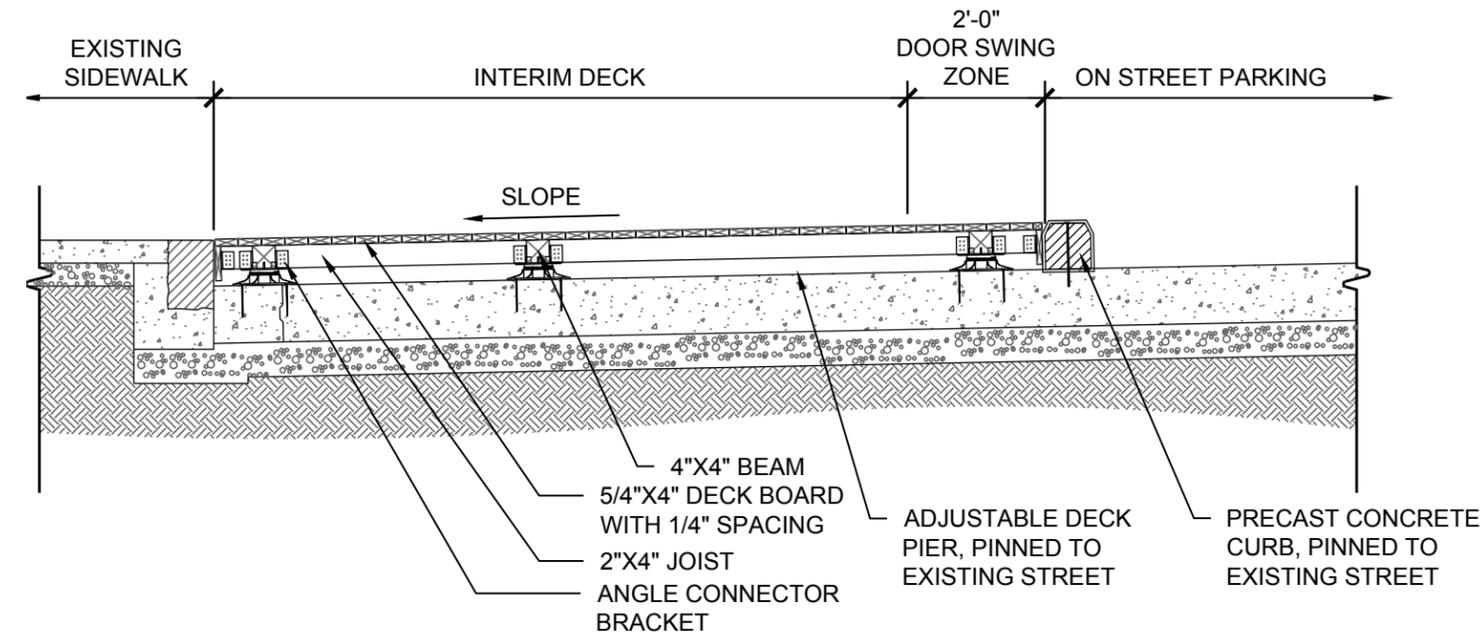


NOTE:

1. ADJUSTABLE DECK PIER ON CENTER SPACING DEPENDS ON TYPE OF PIER AND BEAM/JOIST THICKNESS THAT IS SELECTED



DECK INTERIM (SECTION): 3/8" = 1'-0"

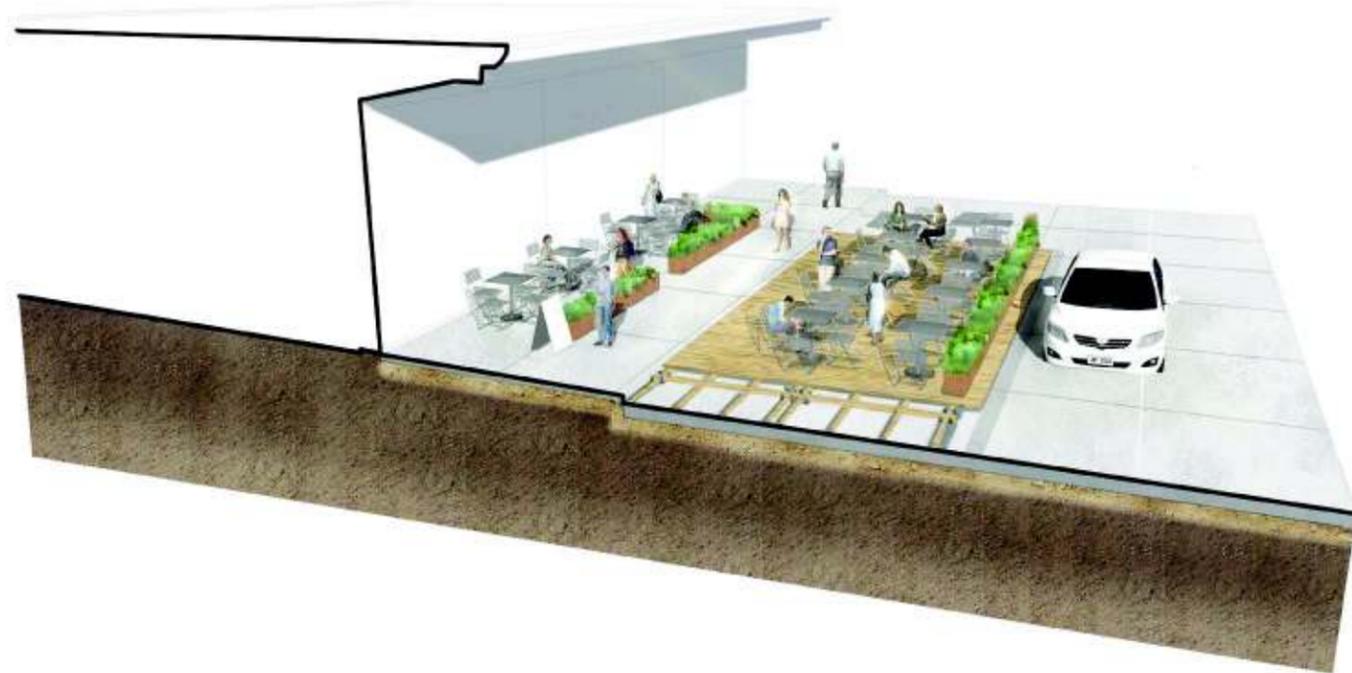


NOTE:

1. SLOPE OF DECK NOT TO EXCEED 2%
2. DOOR SWING ZONE SHALL BE FREE OF ANY OBSTRUCTIONS, PLANTER/FENCE OR SUITABLE BARRIER MUST DENOTE THE EDGE OF THE ZONE

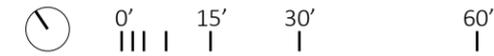
## Platform Decks

The need for a pedestrian clear path on the existing sidewalk means no space for larger areas of café seating. These can be located on the platform decks in the interim. The decks also have the effect of narrowing streets and traffic calming.



### Key

- |                         |   |   |
|-------------------------|---|---|
| (1) 5' Tenant Zone      | (6) Abra Barricade, Typ.                | (10) 5' Walk Connection to Parallel Parking |
| (2) 10' Pedestrian Zone | (7) Cafe Seating on Interim Decks, Typ. | (11) Pergola                                |
| (3) 14' Flex Zone Deck  | (8) Existing Fire Hydrant               | (12) Existing Curb                          |
| (4) 2' Door Swing Zone  | (9) Existing Light                      | (13) Planting                               |
| (5) 8' Parallel Parking |   |   |



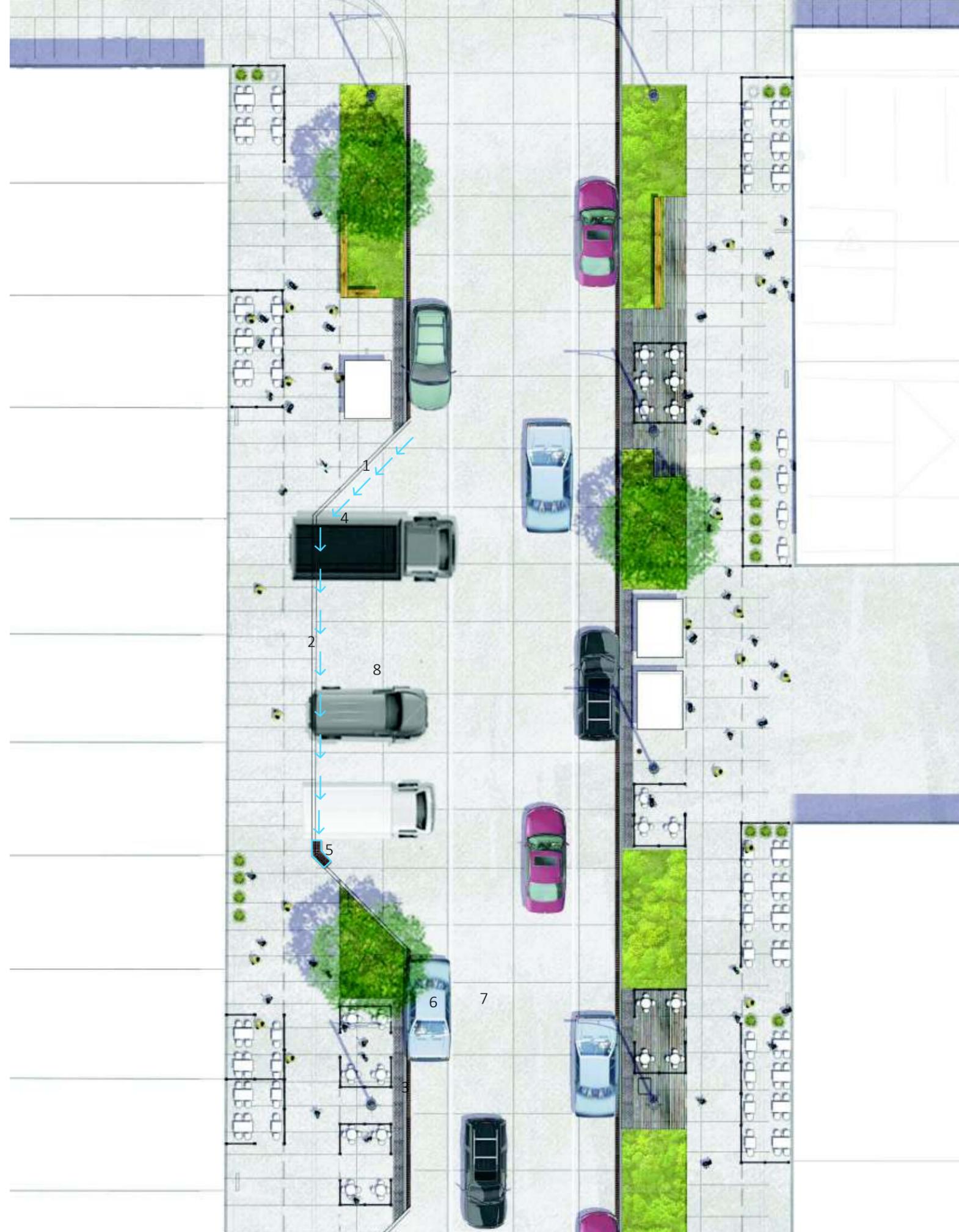
## Flow Line

### TRANSITION FROM HEADER CURB TO CURBLESS CONDITION

Phasing of streetscape improvements is due to disparate ownership, and a need to transition from existing conditions to new improvements. Curb transitions (1) will occur at a 45 degree angle establishing a flow line (4) between the existing and proposed curbs. Drain inlets will be placed at low points to intercept runoff from up the street. There's still space for curbside loading and head-in parking (8) where the curb is in its current location.

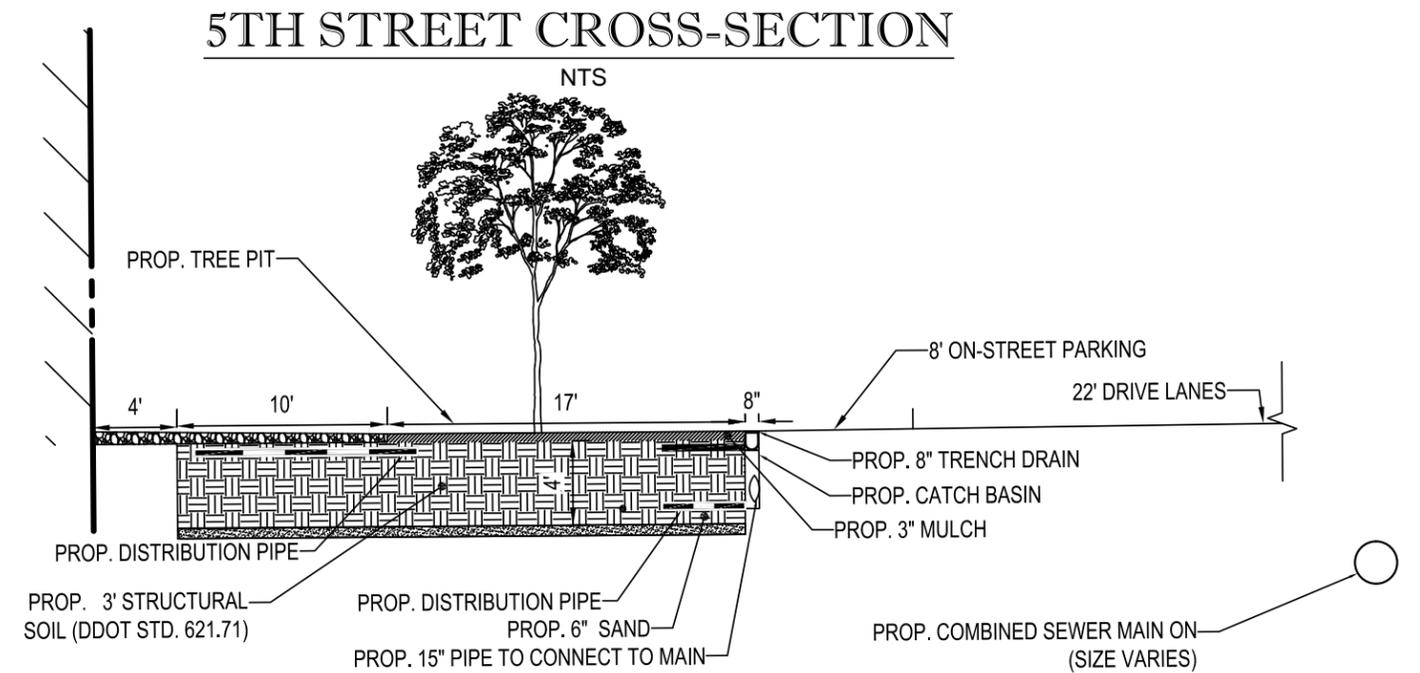
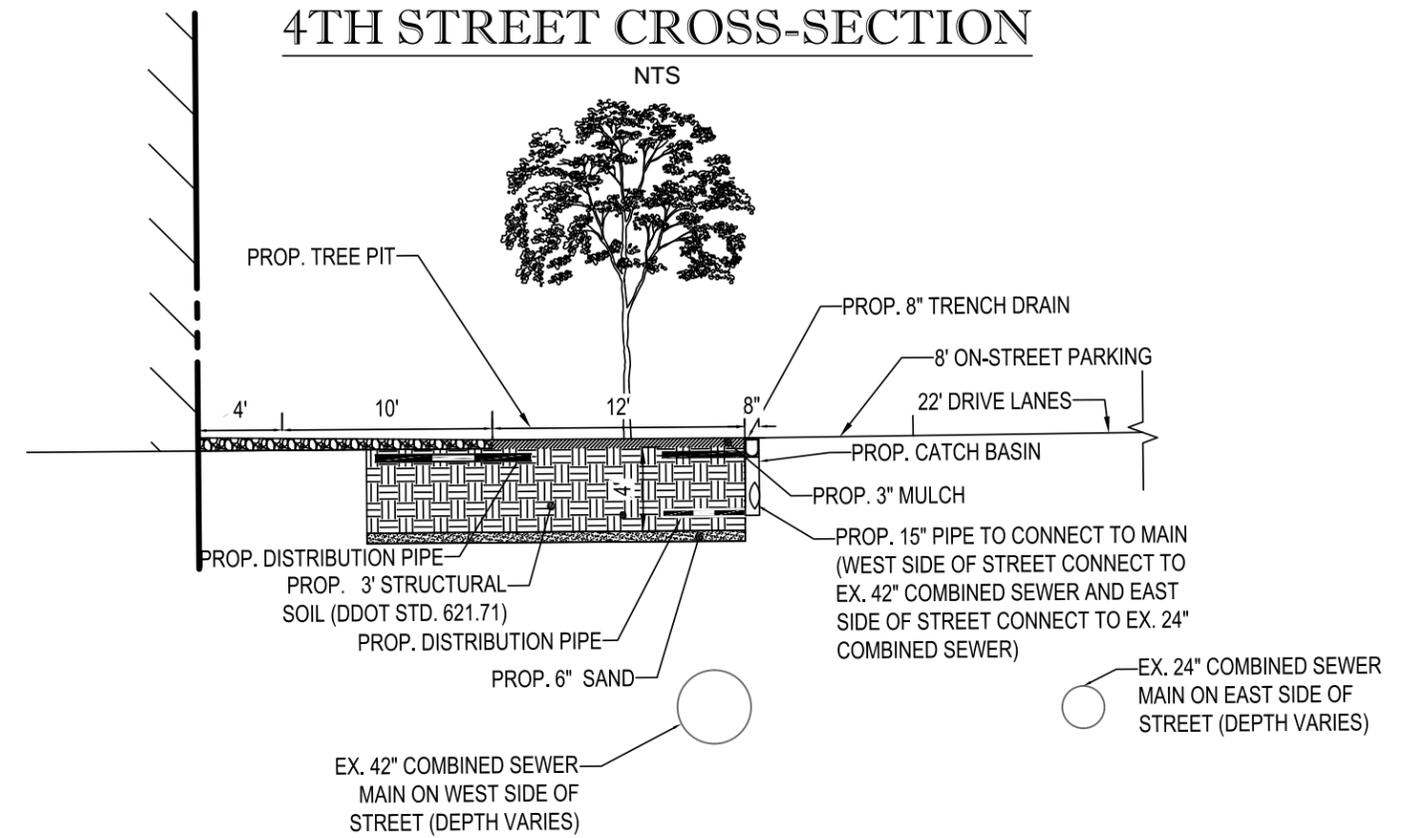
#### Key

- (1) Transition from Header Curb to Curbless
- (2) Existing Curb
- (3) Proposed Curb
- (4) Flow Line
- (5) Drain
- (6) Parallel Parking
- (7) Drive Lane
- (8) Existing Loading/ Head-in Parking



## Stormwater Management Details

On the three streets with curbless sections, stormwater management should be provided in infiltration beds within the streetscape. These beds will need to be sized per Department of Energy and Environment (DOEE) regulations. Typical details are shown below, and generally include trench drains between the flex zone and the parallel parking. Trench drain covers should be ductile iron and have openings no larger than 0.25" in one direction.



## Plant Materials

If a regular street tree spacing of 30' – 45' were used at Union Market, approximately 336 street trees would be planted within the neighborhood. As discussed elsewhere in the Guidelines, regular tree spacing would not be in keeping with the character of the Market streets, and the 113 tree deficit on these streets will need to be made up elsewhere. 6th Street will have 36 additional trees as part of the protected bikeway, and tightened tree spacing along Florida Avenue will result in 4 additional trees. The net result is that 73 trees will need to be planted outside the neighborhood by owners who build new streetscape on Neal Place, 4th Street and 5th Street.

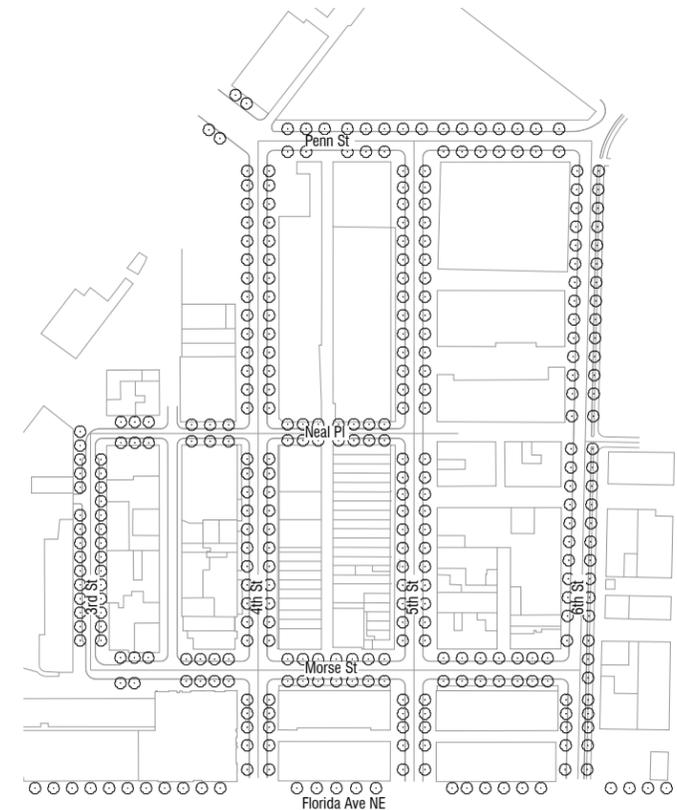
The Urban Forestry Administration (UFA) will work with owners to identify other locations in public space where the 73 trees should be planted; one possible location would be Brentwood Parkway between 6th Street and Mt. Olivet Road. As the total frontage along the Market Streets (including only the north side of Morse Street west of 4th Street) is 5700 LF, off site trees will be required at rate of one tree / 78 LF of new streetscape improvements.

Similar trees may be permitted when these selections are unavailable. Trees will be limbed up above eye level to establish clear site lines and allow for signed conversations, which is appropriate as a deafspace design principle.

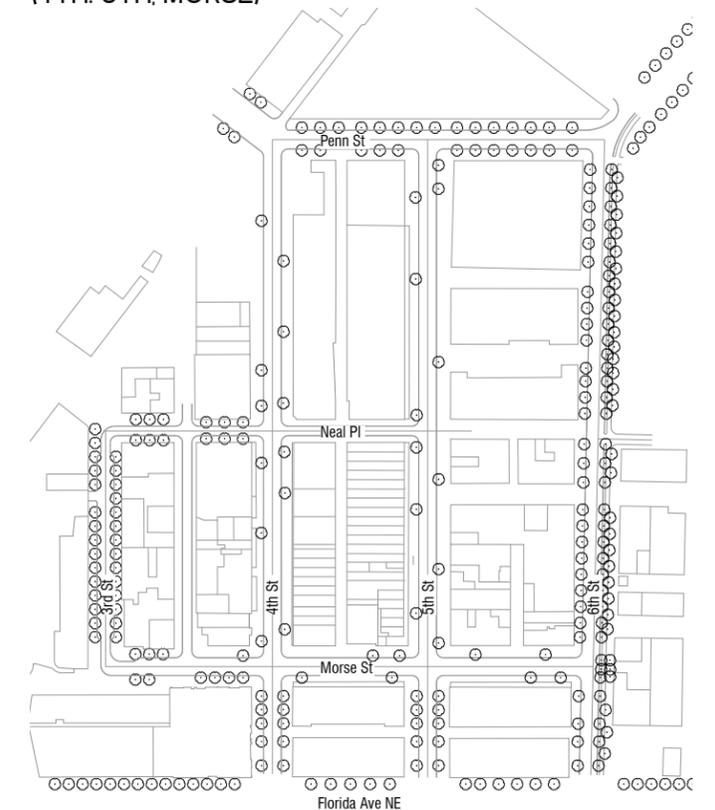
## STREET TREE PALETTE

Street	Street Tree	Location	Height
<b>4th St &amp; 5th St</b>			
	Catalpa	Flex Zone, Curb	40' -70'
	Black Locust	Flex Zone, Curb	30'-50'
	Eastern Hophornbeam	Flex Zone, Curb	25' -40'
	Fruitless Kentucky Coffee Tree	Flex Zone, Curb	50' -70'
<b>6th St</b>			
	American Elm	Curb, Bike Buffer	40'-50'
	Thornless Honey Locust	Curb, Bike Buffer	30' -70'
<b>Penn St</b>			
	Eastern Hophornbeam	Curb	25' -40'
	Turkish Hazel	Curb	40'-80'
<b>Neal Pl</b>			
	Green Hawthorn	Curb	25' -35'
<b>Morse St</b>			
	Chinkapin Oak	Flex Zone	40' -60'
	Green Hawthorn	Flex Zone	25' -35'
	River Birch	Flex Zone	40' -70'
	Thornless Honey Locust	Curb	30' -70'

## TREE SPACING PER DDOT STANDARDS



## POTENTIAL INCREASED TREE SPACING (4TH, 5TH, MORSE)



## Green Canopies

Architectural canopies are a distinctive element on the historic buildings at Union Market, and outlined elsewhere in the guidelines, new buildings on certain streets will be required to include canopies above the ground floor. Building owners are encouraged to consider planted canopies where feasible, as such canopies offer many environmental benefits, particularly on streets with a reduced number of street trees. These include for example stormwater management, urban heat island mitigation, and habitat production. Careful attention should however be paid to planting depths, sun exposure, plant selection, and irrigation needs to ensure long-term viability.



## Green Walls

Whether in the form of planted walls or vines, green walls offer another opportunity to introduce plantings into the streetscape. As for green walls, attention should be paid to plant types, irrigation, and sun exposure to ensure long-term viability. Examples of green walls are shown below.



## Shrub + Perennial Palette

The design intent for plant selections should draw inspiration from the neighborhood as it exists today. Highly manicured or gardenesque planting schemes are discouraged in favor of looser, more informal designs. Some examples are shown at right.



Street Lights 

In keeping with the existing character of the neighborhood, new light fixtures should be cobrahead types. The fixture below is a DDOT standard head, and should be used with a 20' pole to establish an appropriate scale. Photometrics will need to be approved by DDOT for individual projects, but in general this fixture has been specified to provide adequate lighting levels at 60' on center spacing, both sides of the street. Use of this fixture at a 60' spacing will provide appropriate lighting per AASHTO standards, for example, reducing glare and hot spots.

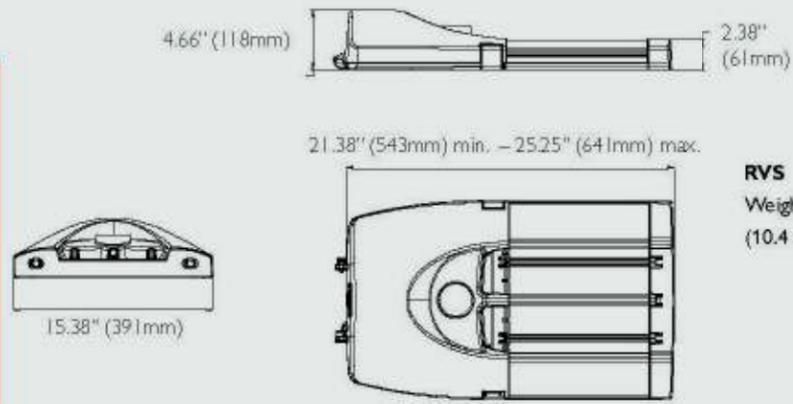
**Philips / Valmont** **70W64LED 4000K - Type II**  
MANUFACTURER LAMP

**HEAD CATALOG #: RVS-70W64LED4K-R-LE2-UNIV-DALI-API-RC-BK-HS**  
**NOTE: HOUSE SIDE SHIELD INCLUDED**

# RoadView LED Series

RVS

**CONTRACTOR TO PROVIDE SLIP FITTINGS OR ADAPTERS IF REQUIRED TO ATTACH TO SPECIFIED POLE.**



**RVS**  
 Weight: 23.0 to 26.0 lbs (10.4 to 11.8 kg)

Lamp	LEDs	Drive Current	Luminaire Lumens*	System Watts	Max. system current (amps)	Weight		Length		EPA	
						lb.	kg.	in.	mm.	sq. ft.	sq. m.
35W32LED4K	32	350	3686	37	0.31	23	10.4	21.38	543	0.53	0.049
55W32LED4K	32	530	5327	56	0.47	23	10.4	21.38	543	0.53	0.049
72W32LED4K	32	700	6536	73	0.61	23	10.4	21.38	543	0.53	0.049
55W48LED4K	48	350	5397	53	0.44	23	10.4	21.38	543	0.53	0.049
80W48LED4K	48	530	7799	81	0.68	23	10.4	21.38	543	0.53	0.049
108W48LED4K	48	700	9570	105	0.88	23	10.4	21.38	543	0.53	0.049
70W64LED4K	64	350	6970	68	0.57	26	11.8	25.25	641	0.60	0.056
110W64LED4K	64	530	10072	104	0.87	26	11.8	25.25	641	0.60	0.056
90W80LED4K	80	350	8555	85	0.71	26	11.8	25.25	641	0.60	0.056
135W80LED4K	80	530	12363	129	1.08	26	11.8	25.25	641	0.60	0.056

\*For Type III distribution. See photometric files for other distributions.

**Philips / Valmont** **70W64LED 4000K - Type II**  
MANUFACTURER LAMP

**ENGINEER TO CONFIRM VOLTAGE**

**Optical systems / LED**

- LE2** TYPE II / Asymmetrical distribution
- LE3 TYPE III / Asymmetrical distribution
- LE4 TYPE IV / Asymmetrical distribution

**Voltage**

- UNIV (120-277)** 347 480  
(not available for 32 LED models)

**Driver options\*\***

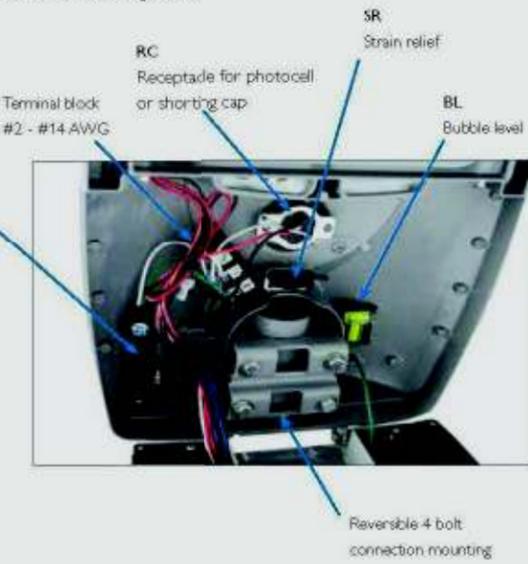
- AST Driver pre-programmed with progressive lamp starting\*
- CDMG Dynadimmer standard dimming program\*
- CDMGP Dynadimmer custom dimming program\*
- CLO Constant Light Output, driver pre-programmed to achieve the same light intensity for the duration of the lifespan of the lamp\*
- DALI** Driver compatible with DALI control systems\*
- DMG Dimmable driver 0-10 volt
- OTL Over The Life, driver pre-programmed to signal the end of lamp life\*
- OVR Dynadimmer override function for use with motion detector or other switching device

\*Only available with 120 - 277 volts.  
 \*\* For all programmable options please consult the factory for details

**Luminaire options**

- API** ANSI/NEMA wattage label
- BL Bubble level
- OSL3W Motion detector (requires DMG or CDMG)
- PH8 Photoelectric cell, twistlock type includes receptacle
- PH8XL\* Photoelectric Cell, Twist-lock Type, "Fail ON", extended life 10-year limited warranty from supplier
- RC** Receptacle for a twist-lock photocell or shorting cap
- SR Strain relief

\* Not available with 347 and 480 volt.



**Luminaire accessory**

- SPC\* StarSense Photo-cell Control  
\* Luminaire option RC is required with this accessory.

**Finish options**

- GY3 Gray
- WH White
- BR** Bronze
- BK** Black
- EXP Extrusion painted to match cast housing color selected above (standard extrusion color is anodized aluminum).

Additional colors are available. Consult factory for complete specifications.

**HOUSE SIDE SHIELD INCLUDED**

Specifications subject to change without notice. Consult factory for full details.




Street Lights 

Philips / Valmont 70W64LED 4000K - Type II  
 MANUFACTURER LAMP

**POLE CATALOG #: DS36-R650A186-4S-FP-BK**



**ROUND TAPERED STEEL**  
Smooth  
DS36

Pole Assembly - Steel

Job Name: \_\_\_\_\_ Client Name: \_\_\_\_\_  
 Job Location - City: \_\_\_\_\_ State: \_\_\_\_\_ Created By: \_\_\_\_\_ Date: \_\_\_\_\_  
 Product DS36 \_\_\_\_\_ Quote: \_\_\_\_\_ Customer Approval: \_\_\_\_\_ Date: \_\_\_\_\_

Job Name: \_\_\_\_\_ Client Name: \_\_\_\_\_  
 Job Location - City: \_\_\_\_\_ State: \_\_\_\_\_ Created By: \_\_\_\_\_ Date: \_\_\_\_\_  
 Product DS36 \_\_\_\_\_ Quote: \_\_\_\_\_ Customer Approval: \_\_\_\_\_ Date: \_\_\_\_\_

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RTS / Smooth

### SPECIFICATIONS

**Pole** - The pole shaft conforms to ASTM A595 Grade A with a constant linear taper of 0.14 in/ft.

**Pole Top** - A removable pole cap with hardware is provided.

**Luminaire Arm** - Luminaire arm shaft conforms to ASTM A595 Grade A with a constant linear taper of 0.14 in/ft.. Double luminaire arms are oriented 180° apart. For other orientations please consult factory.

**Luminaire Arm Attachment** - Connection allows arm to be erected and held in place by gravity and secured by two bolts.

**Handhole** - A covered handhole and grounding provision with hardware is provided.

**Nut Covers** - Anchor bolt nut covers with hardware are provided.

**Full Base Cover** - Optional two-piece full base cover is fabricated from ABS plastic. Valmont reserves the right to provide an optional two-piece steel full base cover on some applications depending upon the finish requirement and/or pole base diameter.

**Anchor Base** - The anchor base (base plate) conforms to ASTM A36.

**Anchor Bolts** - Anchor bolts conform to ASTM F1554 Grade 55 and are provided with two hex nuts and two flat washers. Bolts have an "L" bend on one end and are galvanized a minimum of 12" on the threaded end.

**Hardware** - All structural fasteners are galvanized high strength carbon steel. All non-structural fasteners are galvanized or zinc-plated carbon steel or stainless steel.

**Finish** - Standard finishes are galvanized, prime painted or any of Valmont's V-PRO™ Protection Systems. Additional finish options available upon request.

**Design Criteria** - Please reference Design Criteria Specification for appropriate design conditions.

DS36

### ARM DATA

ARM SPAN (ft)	RISE (ft)	BASE DIM (ft)	END DD (ft)	WALL THK (in)
4	0'-6"	3.10	2.40	11
6	1'-0"	3.60	2.40	11
8	1'-4"	4.00	2.40	11
10	1'-8"	4.50	2.40	11



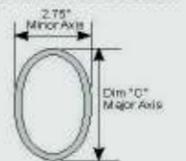




**Double Arm Arrangement**



**Ovalized Arm Cross Section**



VALMONT INDUSTRIES, INC. 28800 IDA STREET, PO BOX 358 - VALLEY, NE 68064 USA 800.825.6668 VALMONTSTRUCTURES.COM

Philips / Valmont 70W64LED 4000K - Type II  
 MANUFACTURER LAMP



**ROUND TAPERED STEEL**  
Smooth  
DS36

Pole Assembly - Steel

Job Name: \_\_\_\_\_ Client Name: \_\_\_\_\_  
 Job Location - City: \_\_\_\_\_ State: \_\_\_\_\_ Created By: \_\_\_\_\_ Date: \_\_\_\_\_  
 Product DS36 \_\_\_\_\_ Quote: \_\_\_\_\_ Customer Approval: \_\_\_\_\_ Date: \_\_\_\_\_

Job Name: \_\_\_\_\_ Client Name: \_\_\_\_\_  
 Job Location - City: \_\_\_\_\_ State: \_\_\_\_\_ Created By: \_\_\_\_\_ Date: \_\_\_\_\_  
 Product DS36 \_\_\_\_\_ Quote: \_\_\_\_\_ Customer Approval: \_\_\_\_\_ Date: \_\_\_\_\_

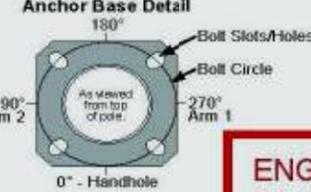
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RTS / Smooth

### ANCHORAGE DATA

POLE BASE DIA (in)	BASE PLATE			ANCHOR BOLTS		
	BOLT CIRCLE DIA (in)	SQUARE THK (in)	THK (in)	DIAM LENGTH x HOOK (in)	PROJECTION (in)	± (in)
6.50	9.50	0.50	10.50	0.875	1.00 x 36.00 x 4.00	4.13 0.25
7.00	10.00	0.50	10.88	0.875	1.00 x 36.00 x 4.00	4.13 0.25
7.50	10.50	0.50	11.25	0.875	1.00 x 36.00 x 4.00	4.13 0.25
8.00	11.00	0.50	11.50	0.875	1.00 x 36.00 x 4.00	4.13 0.25
8.50	11.50	0.50	12.00	1.000	1.00 x 36.00 x 4.00	4.25 0.25
9.00	12.50	0.50	12.38	1.000	1.00 x 36.00 x 4.00	4.25 0.25

**Anchor Base Detail**



**ENGINEER TO CONFIRM POLE BASE REQUIREMENTS.**

DS36

### LOAD AND DIMENSIONAL DATA

NOMINAL MOUNTING HEIGHT	QUANTITY OF ARMS	MAX ARM LENGTH (ft)	100 MPH w/13 GUST			BASE OD (in)	TOP OD (in)	WALL THK (in)	STRUCTURE WEIGHT (lbs)	MODEL NUMBER
			MAX LUMINAIRE EPA (sq ft)	MAX LUMINAIRE WEIGHT (lbs)	WIND LOAD (lbs)					
20'-0"	Single	8	2.0	75	6.50	3.90	11	195	R650A186	
	Double	8	2.0	75	7.00	4.40	11	215	R700A186	
	Double	10	2.0	75	7.00	4.40	11	260	R700A186	
25'-0"	Single	8	2.0	75	7.00	3.70	11	235	R700A236	
	Single	10	2.0	75	7.50	4.20	11	260	R750A236	
	Double	8	2.0	75	7.00	3.70	11	270	R700A236	
30'-0"	Double	10	2.0	75	7.50	4.20	11	305	R750A236	
	Single	8	2.0	75	7.50	3.50	11	275	R750A286	
	Single	10	2.0	75	8.00	4.00	11	305	R800A286	
35'-0"	Double	8	2.0	75	7.50	3.50	11	315	R750A286	
	Double	10	2.0	75	8.00	4.00	11	355	R800A286	
	Single	8	2.0	75	8.00	3.30	11	320	R800A336	
40'-0"	Single	10	2.0	75	8.50	3.80	11	360	R850A336	
	Double	8	2.0	75	8.00	3.30	11	360	R800A336	
	Double	10	2.0	75	8.50	3.80	11	405	R850A336	
40'-0"	Single	10	2.0	75	9.00	3.60	11	410	R900A366	
	Double	10	2.0	75	9.00	3.60	11	455	R900A366	

1. EPA represents the Effective Projected Area of each luminaire. Designs are limited to one luminaire per arm. Variations from sizes above are available upon inquiry at the factory. Satisfactory performance of poles is dependent upon the pole being properly attached to a supporting foundation of adequate design.  
 2. Structure Weight is a nominal value which includes the pole shaft, base plate and luminaire arm(s) only.  
 3. Nominal luminaire mounting heights as charted are within ± 1'-0" depending upon the arm length selected and the respective rise height.

### PRODUCT ORDERING CODES

DESIGN SERIES	MODEL NUMBER	FIXTURE MOUNTING	FINISH	COLOR	V-PRO™ PROTECTION SYSTEM	OPTIONS
DS36	R650A186	4S = 4' Single	GV = Galvanize FP = Finish Paint	-- = Galvanize WH = White	-- = Galvanize -- = Prime Paint V1 = V-PRO 1 Basic 1 Coat Powder. V2 = V-PRO 2 2 Coat Powder or Liquid Includes epoxy primer & top coat. V3 = V-PRO 3 2 Coat Powder or Liquid Includes zinc primer & top coat. V4 = V-PRO 4 2 Coat Powder or Liquid Includes zinc primer & premium top coat.	See Accessories at valmontstructures.com (Please Specify)
	R700A236	8S = 8' Single		BK = Black		
	R750A236	8D = 8' Double		SL = Silver LG = Light Gray SG = Slate Gray DT = Dark Tan MB = Medium Bronze CB = Bronze DB = Dark Bronze BN = Brown HG = Hunter Green DG = Dark Green RD = Red SC = Special Color (Contact Factory)		
	R800A286	10S = 10' Single				
	R850A336	10D = 10' Double				

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VALMONTSTRUCTURES.COM carries the most current spec information and supersedes these guidelines.

## Benches

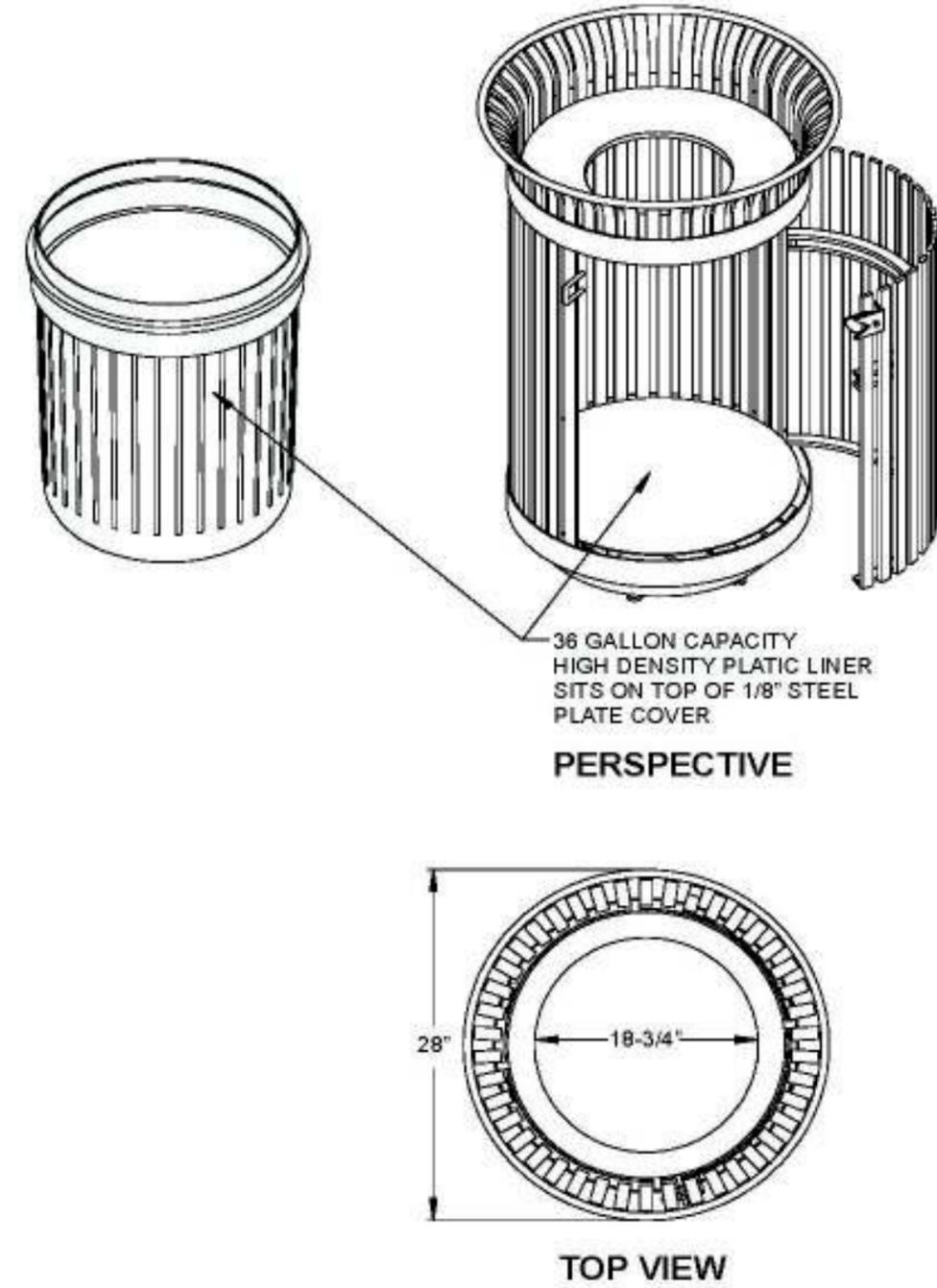
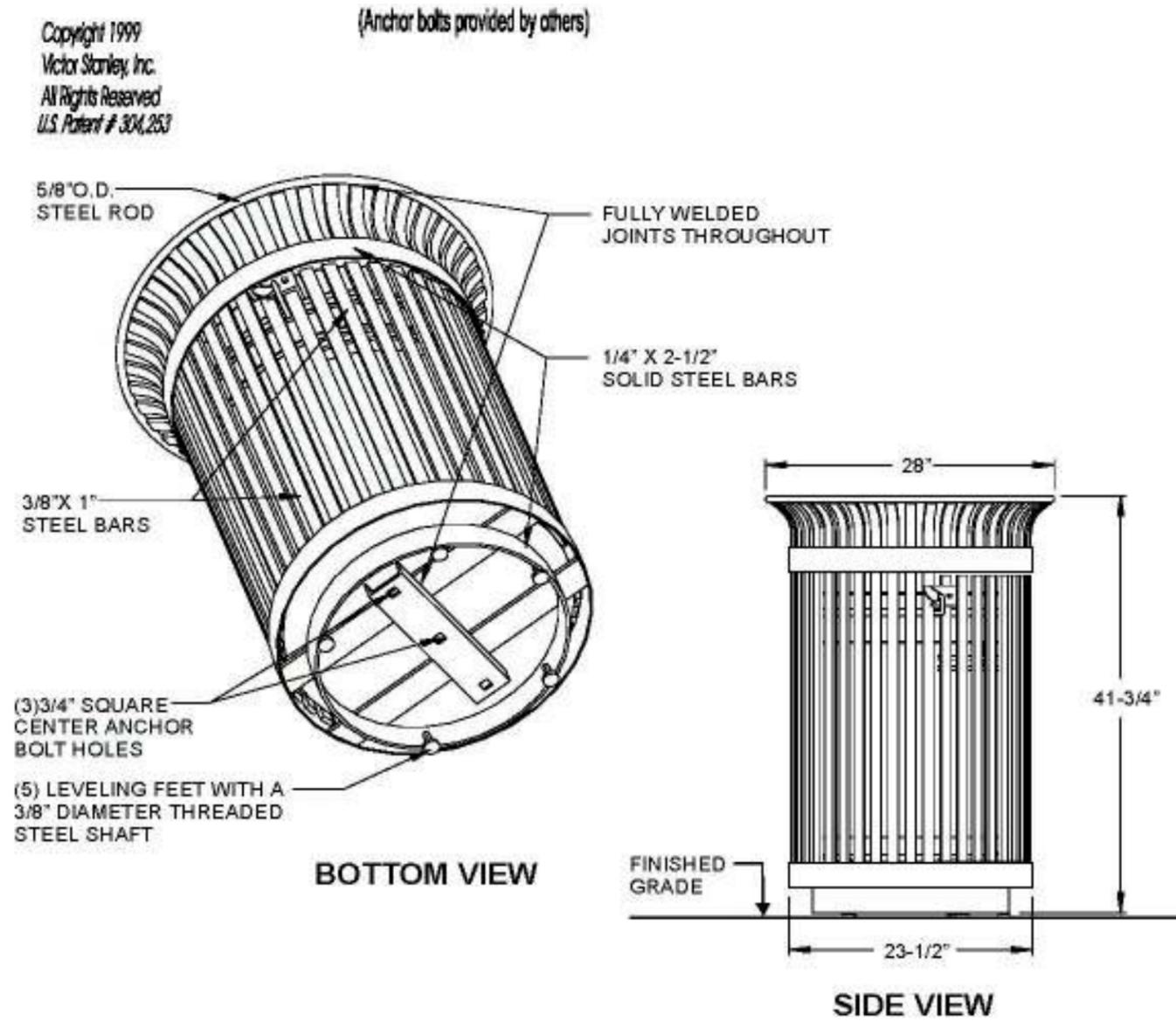
Bench selections should take into account comfort and usability, and should also fit within the material palette used for other streetscape elements at Union Market. Wood, steel (rusted or painted black), powder-coated aluminum, stone and concrete are all appropriate materials. Finishes should be neutral (brown, black, gray) rather than highly chromatic. The details of the benches and other site furnishings may be massive or heavy, in keeping with the industrial character of the neighborhood. Benches may be arranged facing one another to facilitate conversations in ASL.



The images are intended to convey character, materiality and color.

## DC Standard Trash Can

Trash receptacles shall be wrought iron frame and electrostatically powder coated, with riveted steel lid and hinged door. Each receptacle shall be furnished with a hinged door fitted with a latch.



## Bike Racks

Bike racks should also be chosen that fit within the material palette used for other streetscape elements at Union Market. As for benches, steel (rusted or painted black) and powder-coated aluminum are appropriate materials. Finishes should be neutral (brown, black, gray) rather than highly chromatic. The details of the bike racks may be massive or heavy, in keeping with the industrial character of the neighborhood.

Note that DDOT standards require that bike racks allow for two points of attachment to a bicycle, and that the size the bike rack components must permit the use of U-locks. “Toast-rack” type racks are not permitted.



## Planters

Planters should fit within the material palette used for other streetscape elements at Union Market. Wood, steel (rusted or painted black), powder-coated aluminum, stone and concrete are all appropriate materials. Finishes should be neutral (brown, black, gray) rather than highly chromatic. The details of the planters may be massive or heavy, in keeping with the industrial character of the neighborhood.

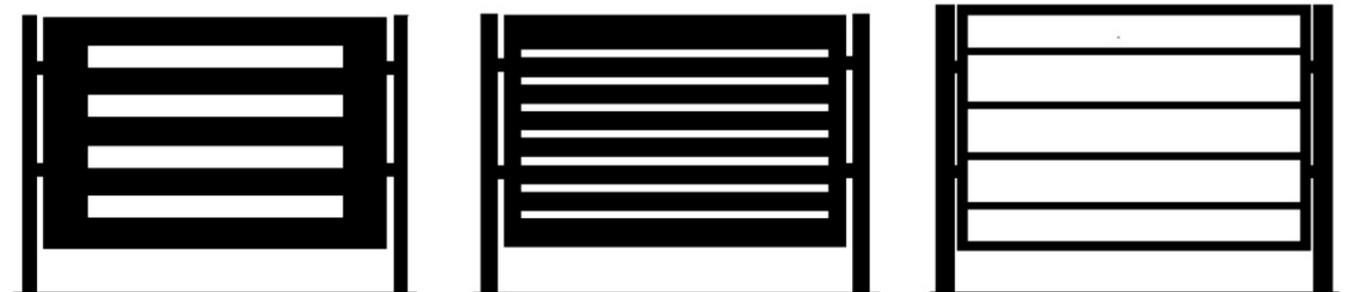
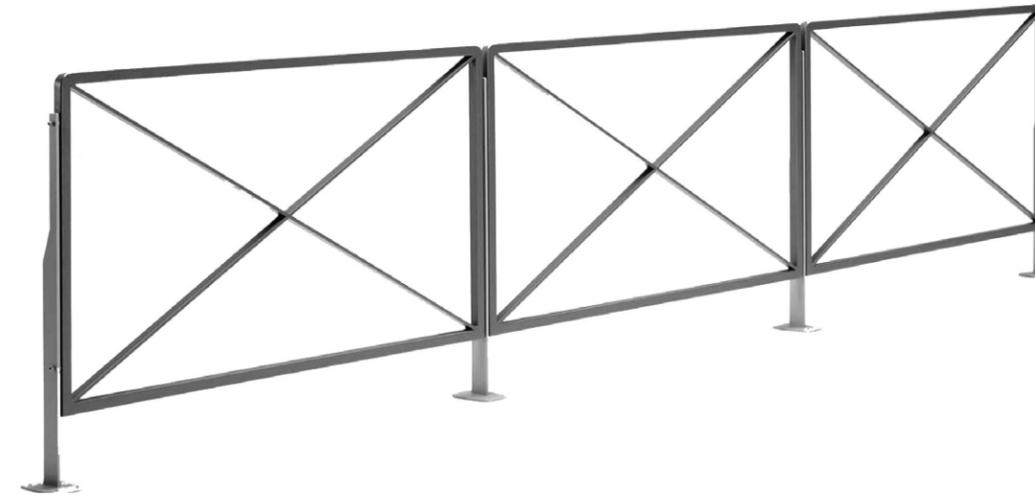


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## Cafe Fencing

Outdoor cafes frequently require fencing, whether due to Alcoholic Beverage Regulation Administration (ABRA) regulations, fall protection, or other reasons. Fencing should be selected to fit within the material palette used for other streetscape elements at Union Market. Wood, steel (rusted or painted black) and powder-coated aluminum are all appropriate materials. Finishes should be neutral (brown, black, gray) rather than highly chromatic. The details of the benches and other side furnishings may be massive or heavy, in keeping with the industrial character of the neighborhood.

Note that ADA requires a bottom rail for cane detection.



The images are intended to convey character, materiality and color. Café fencing needs to comply with ADA, must be a bottom rail within 21" of the ground.

## Canopies, Umbrellas, Pergolas

The flex zone offers rich opportunities for active programming, including outdoor vending and cafés (subject to approval by the appropriate agencies). In many cases these will be improved by overhead structures, whether in the form of umbrellas, canopies, shade structures, etc. Umbrellas may be selected with offset supports to improve site lines and facilitate conversations in ASL. Appropriate examples are shown below.



## Market Sheds

The images are intended to convey character, materiality and color. Market sheds will only be permitted once there is an established Vending Development Zone.



